



DEVELOPMENT PERMIT NO. DP001027

LONG HIGER INTERNATIONAL INC
Name of Owner(s) of Land (Permittee)

5705 VANDERNEUK ROAD
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT 2, DISTRICT LOTS 32 AND 50, WELLINGTON DISTRICT, PLAN
VIP84086**

PID No. 027-311-368

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site Plan and Project Data
Schedule C Building Elevations
Schedule D Exterior Finishes
Schedule E Landscape Plan

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.

4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
5. The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:
 1. *Section 7.6.1 Size of Buildings* – to increase the maximum allowable building height for principle buildings with a flat roof pitch less than 4:12 as follows:
 - Building A – from 7m to 10.2m
 - Building B – from 7m to 9.8m
 - Building E – from 7m to 11.7m.
 2. *Section 7.6.1 Perimeter Wall Height* – to increase the maximum perimeter wall height for each of the following buildings as follows:
 - Building A – from 7.32m to 8.82m
 - Building B – from 7.32m to 8.42m
 - Building E – from 7.32m to 8.12m.
 3. *Section 17.11 Minimum Landscape Treatment Levels* – to reduce the Minimum Landscape Treatment Level 2d width (and planting) from 1.8m to 1.5m on the east property line adjacent to Building C.
 4. *Section 17.11 Minimum Landscape Treatment Levels* – to reduce the Minimum Landscape Treatment Level 2d width (and planting) from 1.8m to 0m on the west property line adjacent to Building E.
 5. *Section 6.5.1 Projection into Side Yard* – to permit the projection of steps and landings into the west side yard setback.
 6. *Section 6.10.2 Fence Height* – to increase the maximum height of a fence (retaining wall) along the the west property line from 2.4m to 2.97m.
 7. *Section 6.10.5 Fence Height* – to increase the maximum height of retaining wall height outside of a required yard setback from 3.0m to 4.82m.

CONDITIONS OF PERMIT

1. The subject property is developed in accordance with the Site Plan prepared by Joyce Troost Architect dated 2017-SEP.08, as shown on Schedule B.
2. The development is in general compliance with the Building Elevations prepared by Joyce Troost Architect dated 2017-JUN-12, as shown on Schedule C.
3. The development is in general compliance with Exterior Finishes prepared by Joyce Troost Architect dated 2017-JUN-12, as shown on Schedule D.
4. The subject property is in general compliance with the Landscape Plan and specifications prepared by Victoria Drakeford Landscape Architect dated 2017-AUG-08, as shown on Schedule E.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 18TH DAY OF **SEPTEMBER**, 2017.

Shelia Vourrie
Corporate Officer

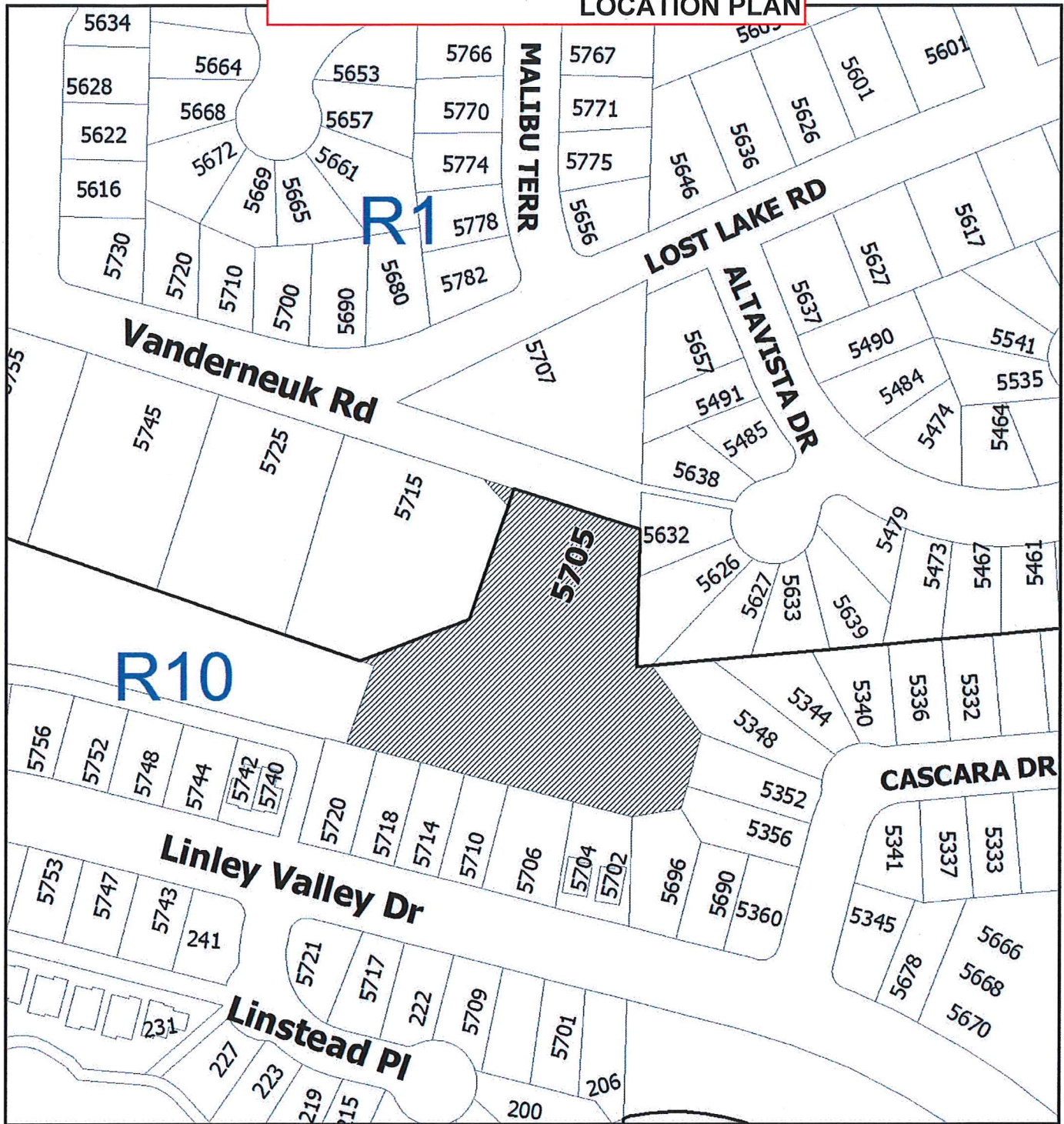
2017-OCT-03
Date

GN/In

Prospero attachment: DP001027

Development Permit DP001027 Schedule A
5705 Vanderneuk Road

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001027

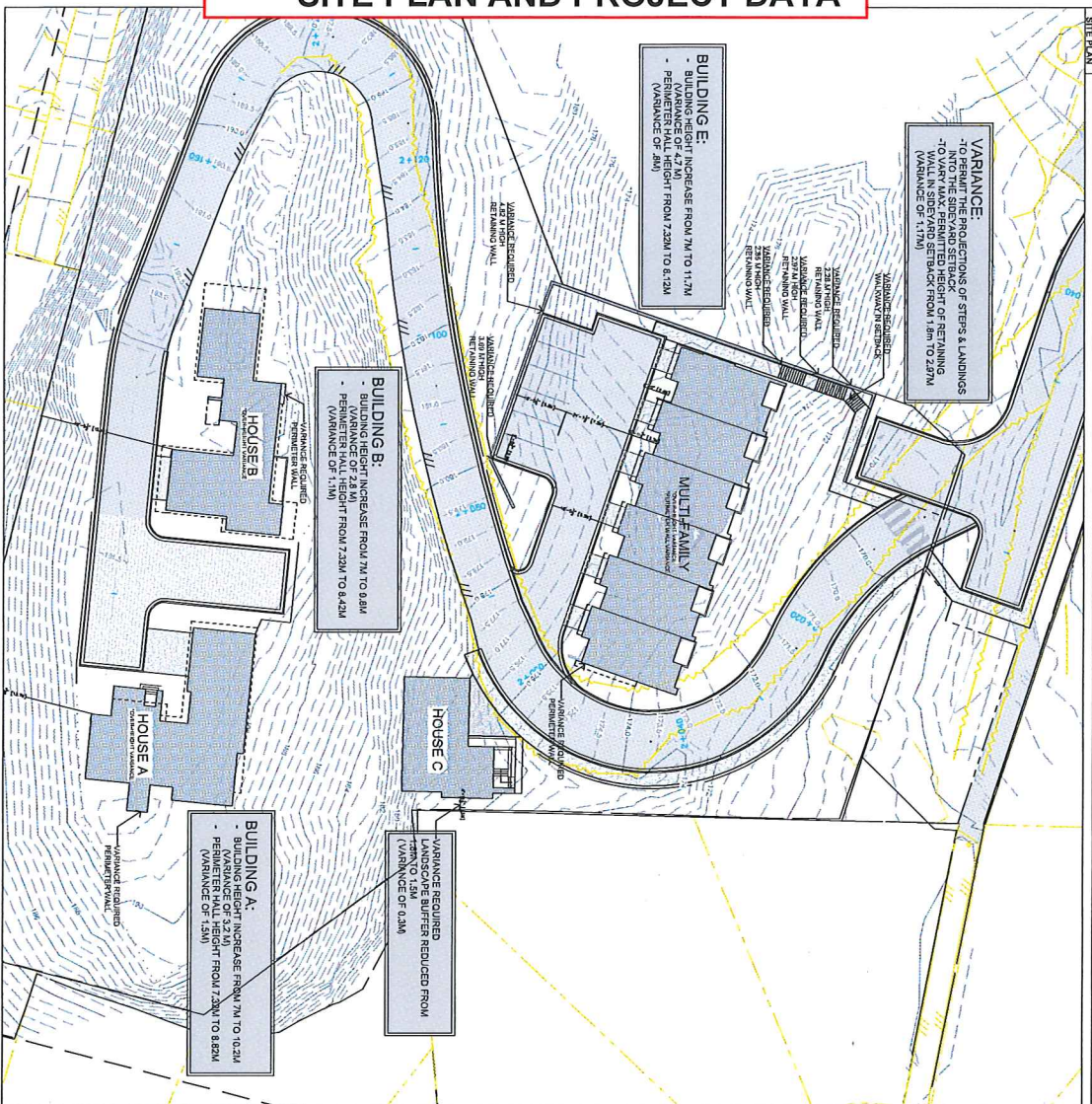


LOCATION PLAN

Civic: 5705 Vanderneuk Road
Lot 2, District Lots 32 and 50,
Wellington District, Plan VIP84086

 **Subject Property**

SITE PLAN AND PROJECT DATA



PROJECT DATA

NET AREA COVERED BY THE VARIANCE: 10,000 SQ. METERS

APPLICANT: 5705 VANDERNEUK ROAD, VANCOUVER, BC

PROJECT NAME: MULTIFAMILY

DATE: 2017-09-08

PROJECT NUMBER: DP001027

PROJECT ADDRESS: 5705 VANDERNEUK ROAD, VANCOUVER, BC

PROJECT TYPE: MULTIFAMILY

PROJECT STATUS: PENDING

PROJECT CONTACT: [REDACTED]

PROJECT PHONE: [REDACTED]

PROJECT EMAIL: [REDACTED]

PROJECT WEBSITE: [REDACTED]

PROJECT SOCIAL MEDIA: [REDACTED]

PROJECT MAP: [REDACTED]

PROJECT LOCATION MAP: [REDACTED]

BUILDING DATA

FLOOR	FLOOR AREA	MAX. ALLOWABLE HEIGHT	PERMITTED HALL HEIGHT	PERMITTED HALL INCREASE
FLOOR 1	1,200	7.00M	7.23M	0.23M
FLOOR 2	1,200	7.00M	7.23M	0.23M
FLOOR 3	1,200	7.00M	7.23M	0.23M
FLOOR 4	1,200	7.00M	7.23M	0.23M
FLOOR 5	1,200	7.00M	7.23M	0.23M
FLOOR 6	1,200	7.00M	7.23M	0.23M
FLOOR 7	1,200	7.00M	7.23M	0.23M
FLOOR 8	1,200	7.00M	7.23M	0.23M
FLOOR 9	1,200	7.00M	7.23M	0.23M
FLOOR 10	1,200	7.00M	7.23M	0.23M
FLOOR 11	1,200	7.00M	7.23M	0.23M
FLOOR 12	1,200	7.00M	7.23M	0.23M
FLOOR 13	1,200	7.00M	7.23M	0.23M
FLOOR 14	1,200	7.00M	7.23M	0.23M
FLOOR 15	1,200	7.00M	7.23M	0.23M
FLOOR 16	1,200	7.00M	7.23M	0.23M
FLOOR 17	1,200	7.00M	7.23M	0.23M
FLOOR 18	1,200	7.00M	7.23M	0.23M
FLOOR 19	1,200	7.00M	7.23M	0.23M
FLOOR 20	1,200	7.00M	7.23M	0.23M
FLOOR 21	1,200	7.00M	7.23M	0.23M
FLOOR 22	1,200	7.00M	7.23M	0.23M
FLOOR 23	1,200	7.00M	7.23M	0.23M
FLOOR 24	1,200	7.00M	7.23M	0.23M
FLOOR 25	1,200	7.00M	7.23M	0.23M
FLOOR 26	1,200	7.00M	7.23M	0.23M
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FLOOR 68	1,200	7.00M	7.23M	0.23M
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FLOOR 71	1,200	7.00M	7.23M	0.23M
FLOOR 72	1,200	7.00M	7.23M	0.23M
FLOOR 73	1,200	7.00M	7.23M	0.23M
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FLOOR 87	1,200	7.00M	7.23M	0.23M
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FLOOR 89	1,200	7.00M	7.23M	0.23M
FLOOR 90	1,200	7.00M	7.23M	0.23M
FLOOR 91	1,200	7.00M	7.23M	0.23M
FLOOR 92	1,200	7.00M	7.23M	0.23M
FLOOR 93	1,200	7.00M	7.23M	0.23M
FLOOR 94	1,200	7.00M	7.23M	0.23M
FLOOR 95	1,200	7.00M	7.23M	0.23M
FLOOR 96	1,200	7.00M	7.23M	0.23M
FLOOR 97	1,200	7.00M	7.23M	0.23M
FLOOR 98	1,200	7.00M	7.23M	0.23M
FLOOR 99	1,200	7.00M	7.23M	0.23M
FLOOR 100	1,200	7.00M	7.23M	0.23M

RECEIVED
2017-SEP-08

Rich

5705 VANDERNEUK RD
VANCOUVER, BC V6N 1C1

PROJECT NAME: MULTIFAMILY
PROJECT ADDRESS: 5705 VANDERNEUK ROAD, VANCOUVER, BC

PROJECT TYPE: MULTIFAMILY
PROJECT STATUS: PENDING

PROJECT CONTACT: [REDACTED]
PROJECT PHONE: [REDACTED]
PROJECT EMAIL: [REDACTED]
PROJECT WEBSITE: [REDACTED]
PROJECT SOCIAL MEDIA: [REDACTED]

DATE: SEPTEMBER 08, 2017
DRAWING: JONAS THORNTON
SCALE: [REDACTED]

PROJECT DATA
SITE LOCATION MAP

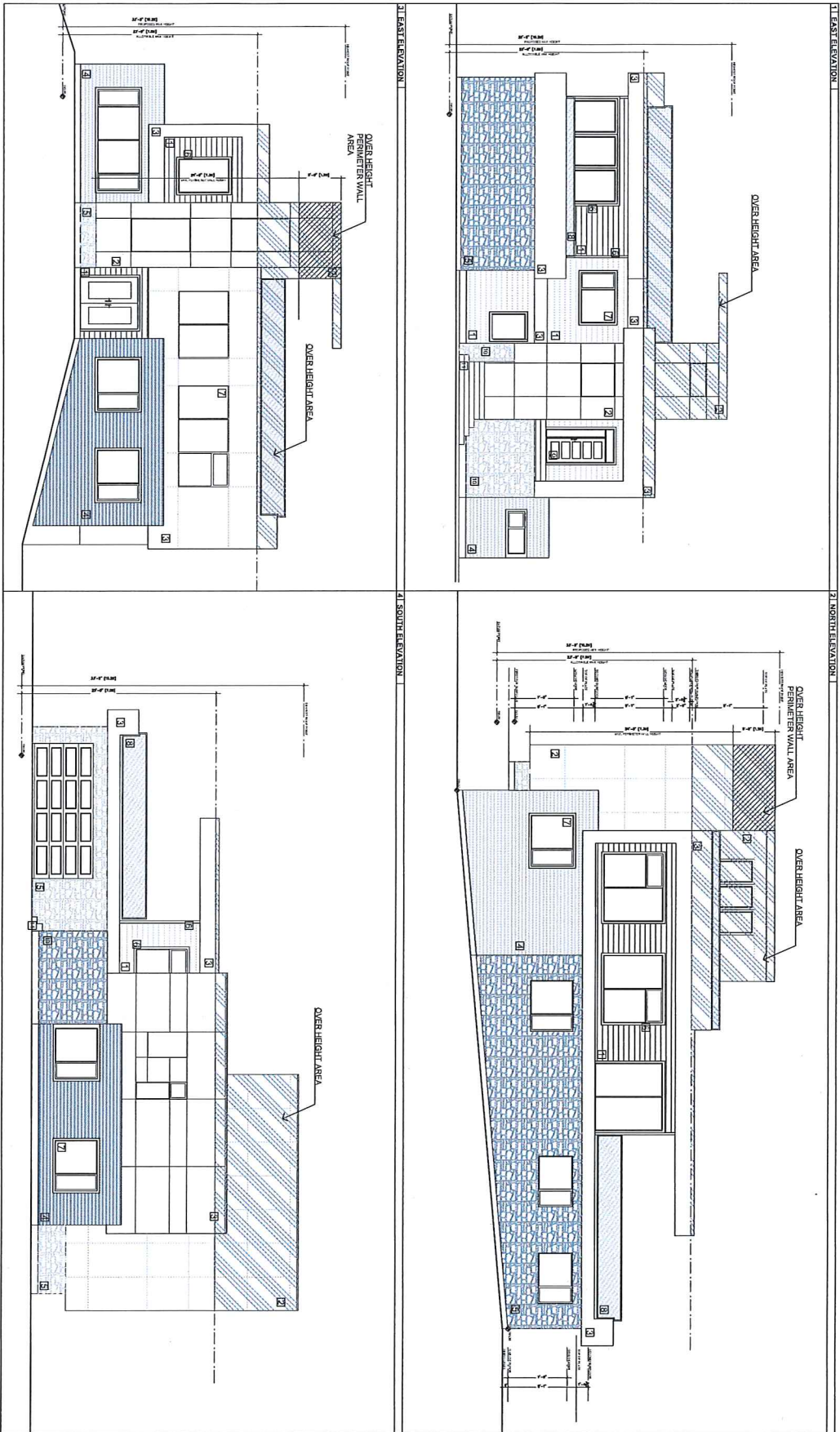
A0

Building A

Development Permit DP001027
5705 Vandermuek Road

Schedule C

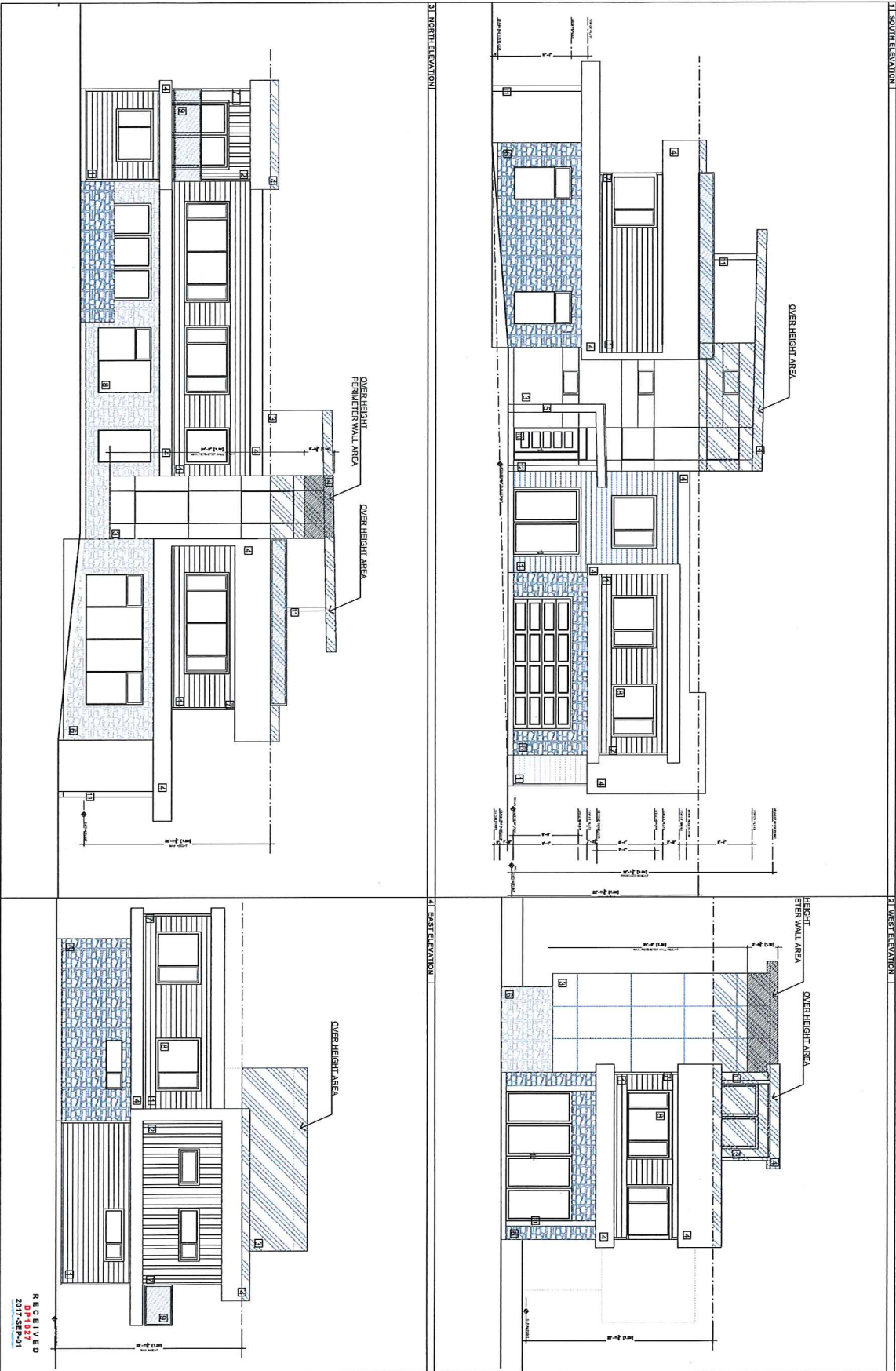
BUILDING ELEVATIONS




RECEIVED
DP001027
2017 JUN 12 10:25

	2017 LTD ROOM ARCHITECT INC 2017 LTD ROOM ARCHITECT INC 2017 LTD ROOM ARCHITECT INC 2017 LTD ROOM ARCHITECT INC
	PROJECT NAME: MULTIPURPOSE PROJECT
ADDRESS: 5705 VANDERMUEK RD	CLIENT: ALAN WOODS
THIS DRAWING, WHICH PARTS AND DETAILS ARE SHOWN, IS THE PROPERTY OF 2017 LTD ROOM ARCHITECT INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DRAWING IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF 2017 LTD ROOM ARCHITECT INC. THE USER OF THIS DRAWING AGREES TO HOLD 2017 LTD ROOM ARCHITECT INC. HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST 2017 LTD ROOM ARCHITECT INC. BY ANY THIRD PARTY AS A RESULT OF THE USER'S USE OF THIS DRAWING.	
DATE: JUNE 12, 2017	DRAWN BY: JAYCE THROTT
CHECKED BY: 318	DRAWING TITLE: BUILDING ELEVATIONS VANDERMUEK RD
SHEET: A16	

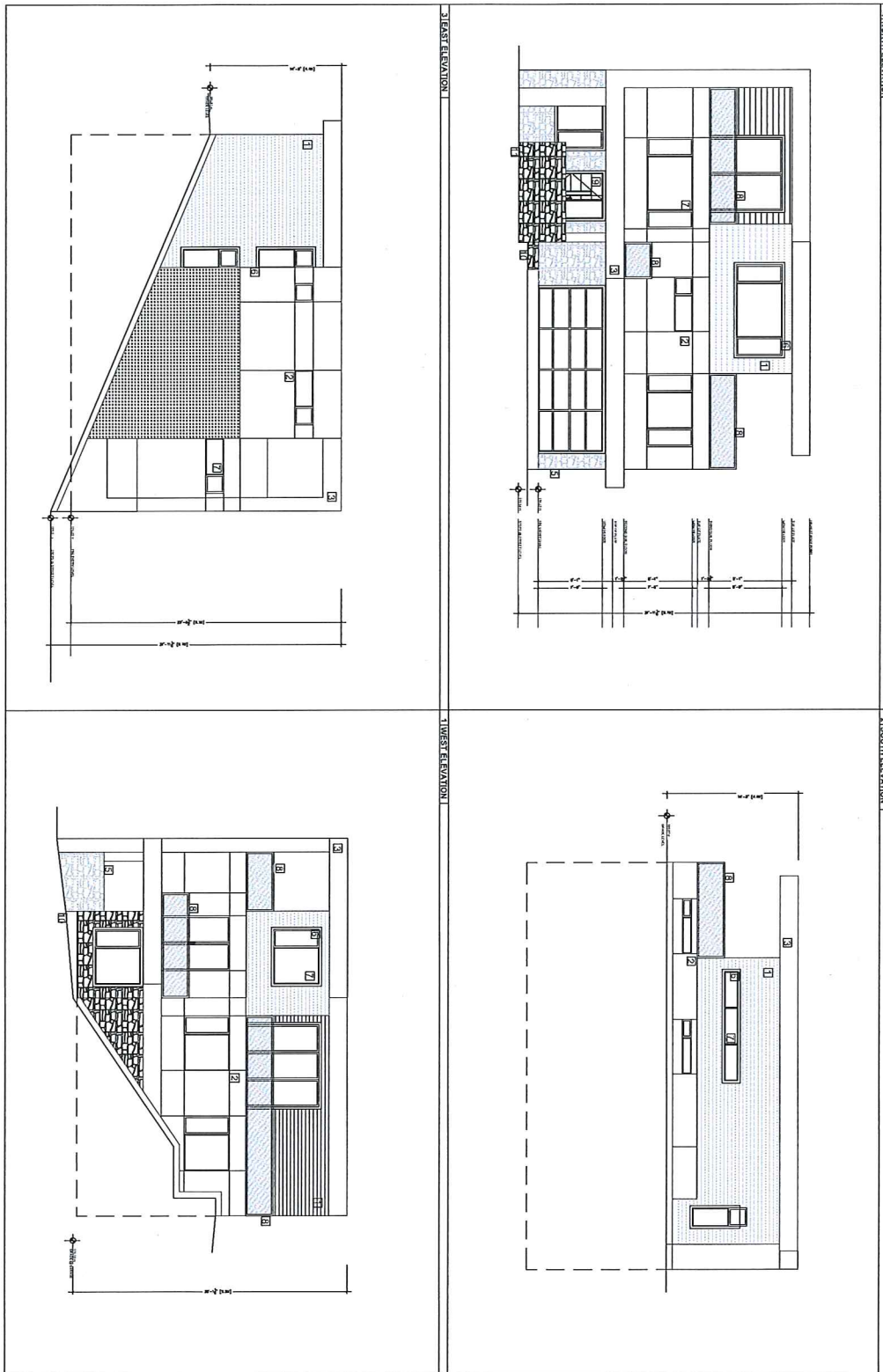
Building B



RECEIVED
2017-08-01

	2755 15TH AVENUE, SUITE 100 DENVER, CO 80202 PHONE: (303) 733-1100 WWW.RICHARCHITECTS.COM
	PROJECT NAME: MULTI-RESIDENTIAL PROJECT
ADDRESS: 3705 WANDERBARK RD	CLIENT: ALAN WOODS
PROJECT NUMBER: 17-001	DATE: 08/01/17
DRAWN BY: JOYCE THORNTON	SCALE: 1/8" = 1'-0"
CHECKED BY: JACOB S. ELLIOTT	SHEET: A17

Building C




RECEIVED
2017 JUN 15

	2017 FIRM 2000 ARCHITECT, P.A.C. 2017 W. 14th Street, Suite 200 Annapolis, MD 21401
	PROJECT NAME: MULTI-RESIDENTIAL PROJECT LOCATION: ANNAPOLIS, MD
CLIENT: ANNAPOLIS HOUSING AUTHORITY	PROJECT NUMBER: 2017-001
DATE: JUNE 12, 2017	DRAWN BY: JONATHAN THORNTON
CHECKED BY: JONATHAN THORNTON	SCALE: 1/8" = 1'-0"
DRAWING TITLE: BUILDING C EXTERIOR ELEVATIONS	SHEET: A10

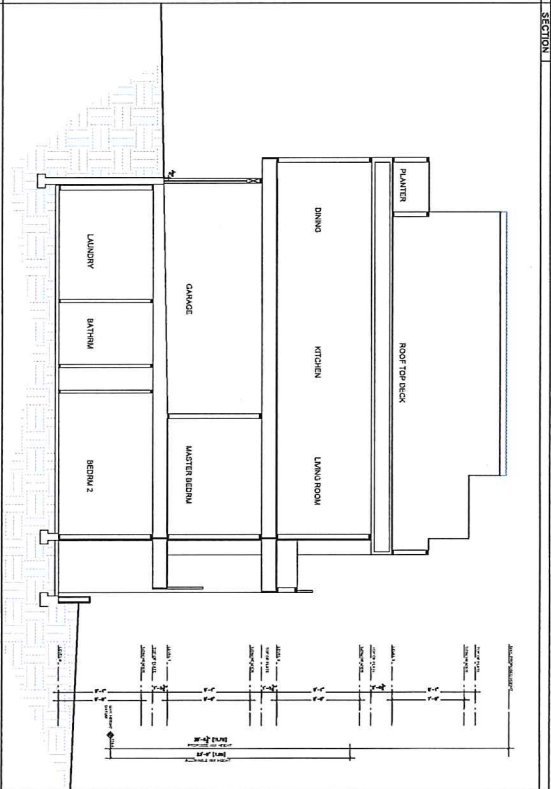
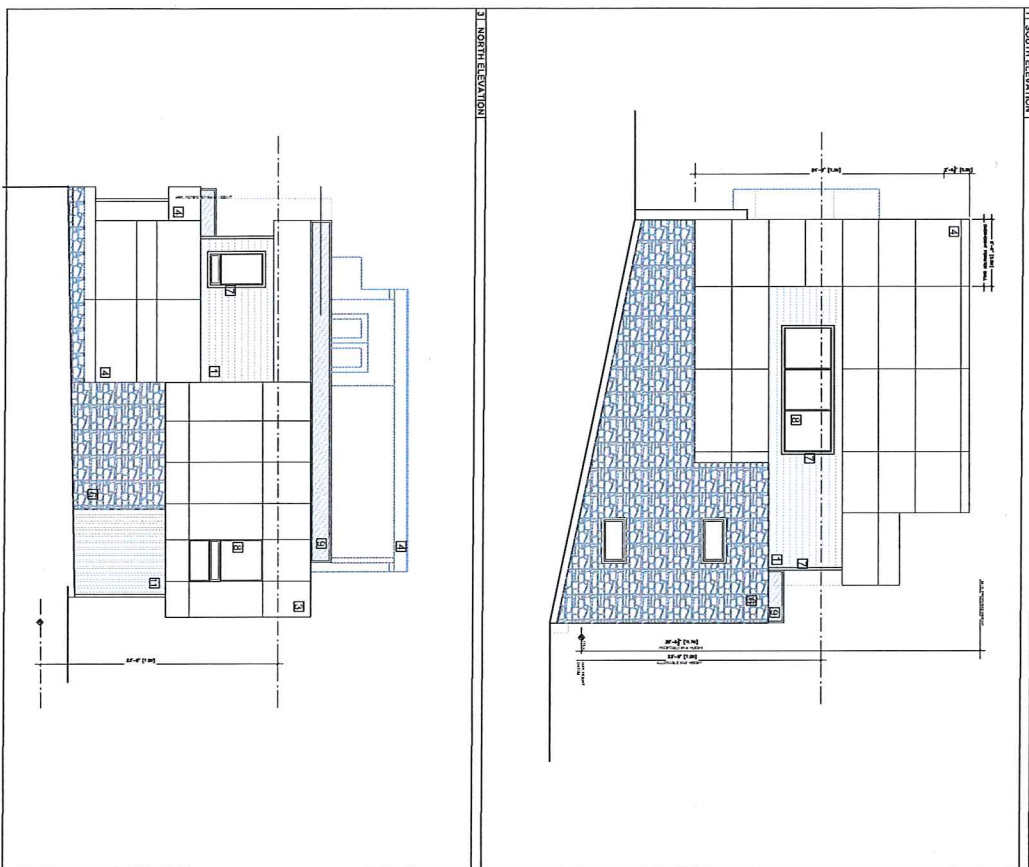
Building E





RECEIVED
2017 JUN 15

	ARCH 2025 E 100th Street, Suite 100 Minneapolis, MN 55425 Tel: 612.555.0000 Fax: 612.555.0001 www.arch.com
	PROJECT NAME: MULTI-RESIDENTIAL PROJECT ADDRESS: 3705 WANDERLUX RD CLIENT: ALUM POWER
PROJECT NO.: 17-0001	
DESIGN TEAM: ARCHITECT: Arch ENGINEER: Alum Power LANDSCAPE ARCHITECT: Alum Power INTERIOR ARCHITECT: Alum Power EXTERIOR ARCHITECT: Alum Power LIGHTING DESIGNER: Alum Power SIGNAGE DESIGNER: Alum Power SPECIALTY CONTRACTOR: Alum Power	
PROJECT NO.: 17-0001 PROJECT NAME: MULTI-RESIDENTIAL PROJECT ADDRESS: 3705 WANDERLUX RD CLIENT: ALUM POWER DESIGN TEAM: Arch ENGINEER: Alum Power LANDSCAPE ARCHITECT: Alum Power INTERIOR ARCHITECT: Alum Power EXTERIOR ARCHITECT: Alum Power LIGHTING DESIGNER: Alum Power SIGNAGE DESIGNER: Alum Power SPECIALTY CONTRACTOR: Alum Power	
BUILDING DESIGN: DATE: 12.12.17 DRAWN BY: JOVE THROST CHECKED BY: JOVE THROST SCALE: 1/8" = 1'-0" SHEET TITLE: MULTI-RESIDENTIAL PROJECT SHEET NO.: 114	
SHEET: A14	

Building E



	2012 E 18th Street, Suite 100 Portland, OR 97232 Phone: 503.251.1111 Fax: 503.251.1112
	PROJECT NAME: MULTI-RESIDENTIAL PROJECT ADDRESS: 5705 VANDEBEEK RD ALBANY, OREGON
EXTERIOR FINISH SCHEDULE: 1. EXTERIOR WALLS 2. ROOFING 3. FLOORING 4. PAINTING 5. SITESWORK 6. LANDSCAPING 7. SIGNAGE 8. FURNITURE 9. EQUIPMENT 10. OTHER	BUILDING LEGEND  DATE: JUNE 12, 2017 DRAWN BY: JOYCE THROST SCALE: 1/8" = 1'-0" DRAWING TITLE: MULTIFAMILY EXTERIOR FINISH SCHEDULES
SHEET: A15	RECEIVED 07/05/17 2017/2017

EXTERIOR FINISHES

HOUSE B

- MATERIALS**
- WOOD ACCENT | CEDAR
 - STONE | K2 SPRING VALLEY
 - LAP SIDING | MONTEREY TAUPE
 - HARDIE PANEL | IRON GREY
 - HARDIE PANEL | TIMBER BARK
 - WINDOWS | ANTHRACITE



HOUSE A

- MATERIALS**
- WOOD ACCENT | CEDAR
 - STONE | K2 MOUNTAIN MOOSE
 - LAP SIDING | MONTEREY TAUPE
 - HARDIE PANEL | IRON GREY
 - HARDIE PANEL | TIMBER BARK
 - WINDOWS | ANTHRACITE



	<p>2024 RICH BUILD GROUP, ARCHITECT & ENGINEER 1000 WEST 10TH AVENUE, SUITE 100 DENVER, CO 80202</p>
	<p>PROJECT NAME MULTI-RESIDENTIAL PROJECT</p>
<p>ADDRESS 5705 VANDERNEUK RD</p>	<p>CLIENT ALLEN HOMES</p>
<p>RECEIVED DP001027 2024 JUN 12 10:52</p>	<p>BUILDING DEPARTMENT</p>
<p>DATE JUNE 12, 2017</p>	<p>SCALE JOINT THROUGHT</p>
<p>PROJECT TITLE HOUSE A & B MATERIALS</p>	<p>SHEET A2</p>

Building C

HOUSE C

MATERIALS

- WOOD ACCENT | CEDAR
- STONE | K2 MOUNTAIN MOOSE
- LAP SIDING | MONTEREY TAUPE
- HARDIE PANEL | IRON GREY
- HARDIE PANEL | TIMBER BARK
- WINDOWS | ANTHRACITE

SOUTH ELEVATION

EAST ELEVATION

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 09/08/2017
 2017-JUN-15

	2017 END USER AGREEMENT IAC 2017 END USER AGREEMENT IAC 2017 END USER AGREEMENT IAC	PROJECT NAME MULTI-RESIDENTIAL PROJECT	ADDRESS 5703 VAN DERBEEK RD ALBERTA	CLIENT ALBERTA HOUSING	THE ARCHITECT, ENGINEER, ARCHITECTURAL RENDERING, AND INTERIOR DESIGNER HAS PREPARED THESE ARCHITECTURAL DRAWINGS FOR THE PROJECT DESCRIBED ABOVE. THE ARCHITECT, ENGINEER, ARCHITECTURAL RENDERING, AND INTERIOR DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE PROJECT AND HAS FOUND THE PROJECT TO BE IN ACCORDANCE WITH THE ARCHITECTURAL RENDERING AND INTERIOR DESIGN. THE ARCHITECT, ENGINEER, ARCHITECTURAL RENDERING, AND INTERIOR DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE PROJECT AND HAS FOUND THE PROJECT TO BE IN ACCORDANCE WITH THE ARCHITECTURAL RENDERING AND INTERIOR DESIGN.
	DRAWING LEGEND	DATE JUNE 12, 2017			
DRAWING TITLE HOUSE C & D EXTERIOR & INTERIORS					
SCALE AS SHOWN					
SHEET A3					

MULTI-FAMILY

MATERIALS

- WOOD ACCENT | CEDAR
- STONE | K2 SPRING VALLEY
- BOARD & BATTEN LAP SIDING | MONTEREY TAUPE
- LAP SIDING | PEARL GRAY
- HARDIE PANEL | IRON GREY
- HARDIE PANEL | TIMBER BARK
- WINDOWS | ANTHRACITE



LOOKING NORTH FROM THE FRONT



LOOKING NORTH FROM THE FRONT



WEST SIDE ELEVATION



LOOKING NORTH FROM THE FRONT



RECEIVED
REVISED
2017-JUN-15

	<p>JONCIE HUD HOOD ARCHITECT & INTERIOR DESIGN 2022 MARKET STREET, SUITE 100 SAN ANTONIO, TEXAS 78204 PH: 214.343.1111</p>	<p>PROJECT NAME MULTI-RESIDENTIAL PROJECT</p>	<p>ADDRESS 5705 WANDERSUEK RD SAN ANTONIO, TX 78238</p>	<p>CLIENT ALVIN HOUSERS</p>	<p><small>THIS ARCHITECTURAL RENDERING, DRAWING, PLAN, SPECIFICATION, AND CONTRACT DOCUMENTS ARE THE PROPERTY OF JONCIE HUD HOOD ARCHITECT & INTERIOR DESIGN. NO PART OF THIS DOCUMENTATION MAY BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF JONCIE HUD HOOD ARCHITECT & INTERIOR DESIGN. ANY UNAUTHORIZED USE OR REPRODUCTION OF THIS DOCUMENTATION IS STRICTLY PROHIBITED. THE CLIENT ASSUMES ALL LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED AND FOR THE RESULTS OF ANY CONSTRUCTION PROJECT BASED ON THIS DOCUMENTATION.</small></p>
<p>DATE JUNE 12, 2017</p>	<p>REVISION OWNER REQUEST</p>	<p>SCALE</p>	<p>DRAWING TITLE MULTI-FAMILY ARCHITECTURAL RENDERINGS</p>	<p>PROJECT MULTI-FAMILY ARCHITECTURAL RENDERINGS</p>	<p>SCALE A4</p>

Development Permit DP001027 Schedule E
5705 Vanderneuk Road
LANDSCAPE PLAN



PROJECT NAME	VANDERNEUK MULTIFAMILY DEVELOPMENT		
CLIENT	LANDSCAPE ARCHITECTURE INC.		
SCALE	1:2500	DATE	JUNE 15, 2017
PROJECT NUMBER	WkVanderneuk 212	DRAWING NUMBER	L1/23

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2017 AUG 30